



Design & Siting Guidelines

The Ridgeline - November 2011



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1.0 Purpose of the Guidelines

Congratulations on purchasing a unique allotment that affords some of the best views, outlooks and scenery in the Officer region. With these elevated, prestigious and generously sized allotments, a specific set of Guidelines have been developed to ensure that the amenity, views, and landscape requirements are met for all allotments. These Guidelines are specific to those allotments that are located on the slopes of the large ridge that runs across the site and are to be read very carefully to ensure that the attributes are maximised. These Guidelines are therefore titled “The Ridgeline Guidelines”.

The key purpose of the design guidelines is to assist all owners in preparing an appropriate contemporary design response which reflects current design trends. This will facilitate the development of high quality construction and landscaping throughout the community and will assist in protecting your investment and interests at Grandvue.

The guidelines are intended to assist you in considering the design of your home and private garden and how this can contribute to and enhance the overall character of the development. The Guidelines will help you through the initial consideration, design process and building of your new home. The Guidelines will underpin the overall amenity of the area and contribute to creating a vibrant and progressive community that you will proudly call home.

These lots are generous in size allowing for flexible design solutions that maximize the view opportunities whilst calling for a sensitive approach to the topography (minimize cut and fill) and landscape treatments including the planting of canopy trees. The setbacks will be greater on these lots to allow for this sensitive approach; of particular importance is the existing and proposed vegetation on the ridgeline, and the preservation of its significance in retaining the integrity of the landscape.

Of key importance is that some of the allotments within the Ridgeline are required to apply for a Planning Permit due to the fact that a Significant Landscape Overlay may be present. It is imperative that all lot owners confirm their Contract of Sale to check if this is needed. Further information on the Significant Landscape Overlay is outlined below under Section 1.2 Lots Subject to the Significant Landscape Overlay.

These Guidelines may be amended from time to time at the developer’s discretion to reflect changes in design and building trends and amendments to legislation affecting building approvals.

1.1 Submission Requirements & Developer Approval Process

The siting and design of your home is required to be approved by the Grandvue Design Reviewer (GDR) before obtaining a Building Permit (and a Planning Approval for those lots subject to the Significant Landscape Overlay). It is mandatory that all plans and other relevant drawings are submitted to the GDR for approval.

To obtain approval, you must first forward the Grandvue Application for Design Approval Form & Checklist(found in Appendix 8.2 of these Guidelines) along with two (2) legible A3 copies of the documentation listed on the form for approval to:

**Grandvue Design Reviewer
C/- Shelton Finnis Architects
72 Bridport Street
ALBERT PARK VIC 3206**

Alternatively, documentation can be emailed to grandvue@sheltonfinnis.com.au

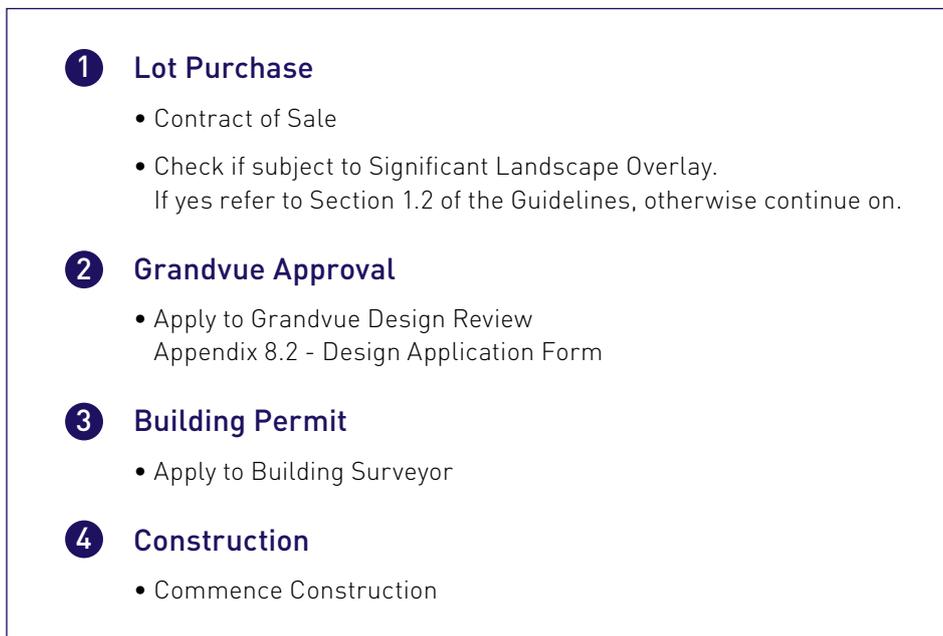
The Grandvue Application for Design Approval Form & Checklist must accompany the documentation listed on the form. Documents must be submitted in pdf format, with the subject of the email to include the lot number and street name.

The GDR will assess all designs and either provide a Notice of Approval or specify how the submission conflicts with the Guidelines. Designs that substantially comply with the Guidelines may be given a Notice of Approval with conditions requiring the rectification of minor deviations. Furthermore the GDR may make suggestions intended to improve the design.

The GDR will use its best endeavors to assess proposals in the shortest possible time and is generally within 10 -14-business days of receipt of a fully completed and compliant application. You must then obtain a Building Permit from a relevant Building Surveyor and / or any other relevant approvals required by the authority approval process.

For simplicity, a flow diagram of the approval process is shown below:

Note: that this process is **not** applicable for lots subject to the Significant Landscape Overlay, refer Section 1.2.)



Process for Approval to Commence Construction of your Home

It is the responsibility of the applicant to ensure that all proposed works meet with both local and state building regulations. Neither the developer, nor the GDR accepts responsibility or will be liable for refunds, or compensation of any sort for submissions that do not comply with the Guidelines and / or are not granted a Planning or Building Permit.

Please Note: The final decision of all aspects regarding the Design Guidelines, including rejection and approval of submissions is at the discretion of the GDR. The GDR also reserves the right to request further information should they deem it necessary.

Should you or your builder have any queries and need clarification on matters within these Design Guidelines, please contact Shelton Finnis Architects on (03) 9696-0151.

1.2 Lots Subject to the Significant Landscape Overlay

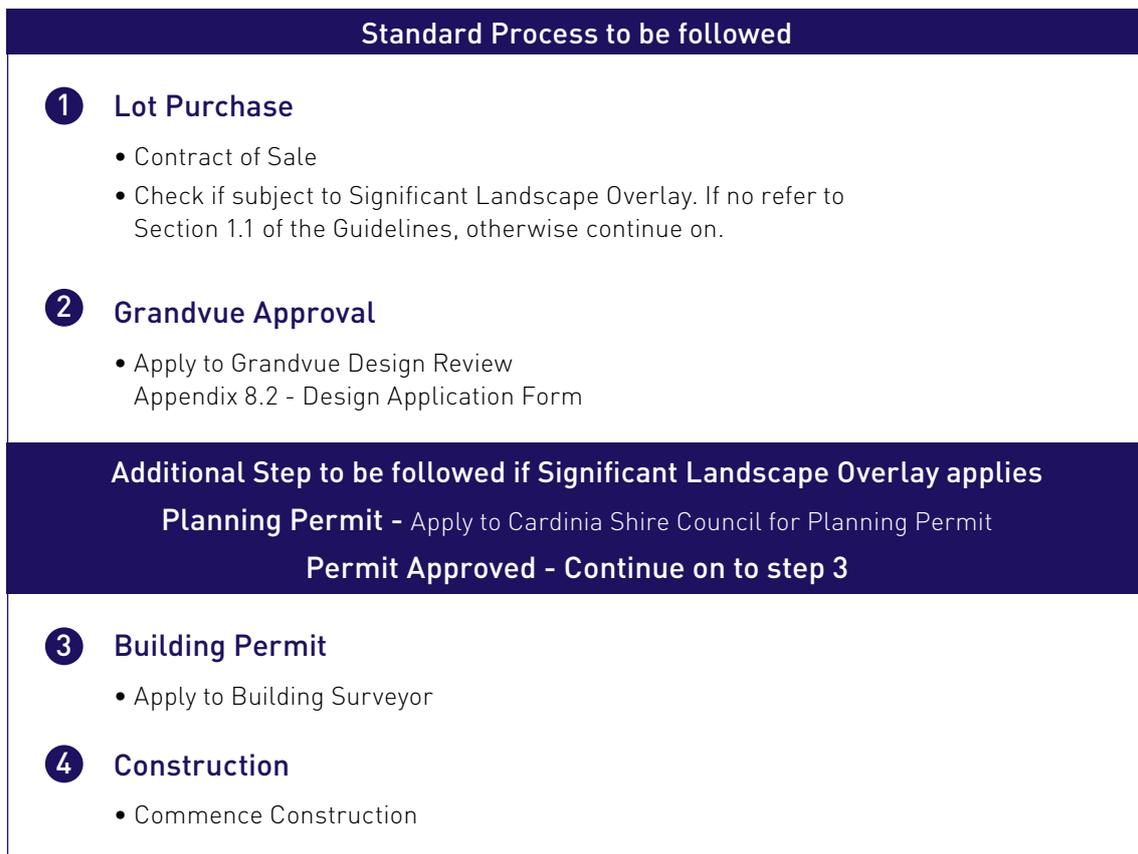
In the case of those lots subject to the Significant Landscape Overlay, the purpose of this control under the Cardinia Planning Scheme, is to ensure “that the landscape, scenic and environmental qualities of the significant ridgelines and hilltops are protected”.

It is important to note that after receiving an approval from the GDR you must undertake an additional step by lodging an Application for a Planning Permit to the Cardinia Shire Council.

As of 06 August, 2010, the current objectives of the Significant Landscape Overlay and requirements for the submission of a Planning Permit Application are covered in detail in Appendix 8.3 of these Guidelines. It is our recommendation that you seek professional advice to assist you with lodging your application.

To assist you with the documentation required for your application, the Design Application Form, in Appendix 8.2, requests the majority of the information required by the Significant Landscape Overlay and can form the basis of your submission. With input from a Town Planning consultant, you can then follow the process below to obtain both the GDR and Councils approval for the construction of your dwelling. It should be noted that regardless of whether or not the GDR approves your plans, Council may reject or request amendments to your application.

For simplicity, a flow diagram of the approvals is shown below:



Process for Approval to Commence Construction of your Home

Please Note: The final decision of all aspects regarding the Design Guidelines, including rejection and approval of submissions is at the discretion of the GDR and the Cardinia Shire Council. The GDR and Council also reserves the right to request further information should they deem it necessary.

For further information on how to apply for a Planning Permit or details on the Significant Landscape Overlay, please refer to the Council’s website (www.cardinia.vic.gov.au) or contact Council on 1300 787 624 and ask to be directed to the Development Services Department.



2.0 Siting & Orientation

Where possible each dwelling should be designed to maximise the advantages and natural characteristics of the site. Solar angles, views, slope, prevailing breezes, relationship to the street, open space, landscaping and adjoining dwelling type and locations should all be considered to create a responsive design solution.

Setbacks and Building Envelopes have been developed for every allotment. These setbacks and envelopes are discussed in detail within this section of the Guidelines.

2.1 Conventional Lots

Building Envelopes have been prepared for all lots in Grandvue. These Building Envelopes indicate the area on each lot where a building can be sited.

- A front (primary) boundary is deemed to be that part of the lot with the street frontage being the smallest dimension, unless otherwise noted.
- Only one dwelling may be built on any one lot.
- Lots may not be further subdivided.
- All building works must be contained within the Building Envelope and subject to approved variations.

2.2 Corner & / or Irregular Lots

Corner lots have significant impact on neighbourhood character, and therefore, considerable attention is required to ensure that a desirable outcome is achieved.

It is important that corner lot homes are articulated and address their prominent position in the streetscape while contributing to the creation of an attractive, safe living environment. They form a gateway to adjoining streets, therefore it is essential that the dwelling addresses both street frontages with articulation of the built form including varying materials, window and door openings. In addition, to the above points, the following applies to the siting on corner allotments:

- Provide an appropriate corner articulated feature/s to your home that will 'turn the corner' for both single and two storey dwellings. One or more of the following building elements is to be incorporated into the design as a corner feature;
 - Windows,
 - A return verandah or balcony,
 - An articulated step back or setback of wall and / or roof structures, including eaves, and
 - A change of building materials that assists in softening the mass of the building.
- Blank walls to the secondary façade will not be permitted, nor will unarticulated walls of more than 8 metres to the secondary façade on two storey homes. Single storey homes must also comply with one or more of the elements noted above.
- Corner allotments with proposed crossovers intended to be located on the side street frontage may be considered by the GDR on an individual basis, but will also be subject to Council approval.
- Irregular and curved lots will be considered by the GDR on an individual basis and is at the discretion of the GDR. Note that the GDR has no discretion on Building Regulations.

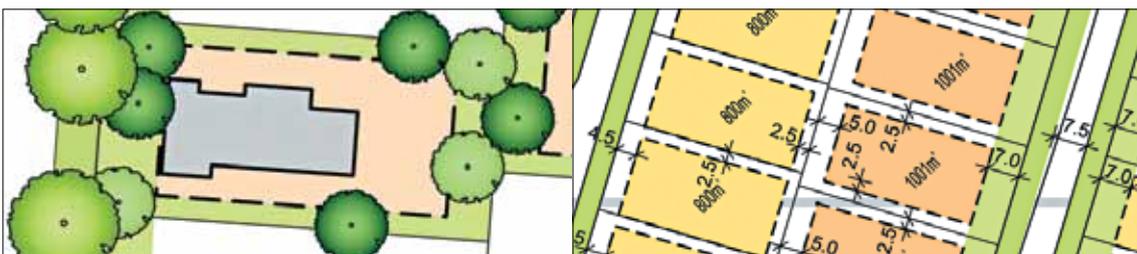


Examples of not acceptable and encouraged form on a corner allotment.

2.3 Setbacks & Building Envelopes

Setbacks form an important part of ensuring that the lots are protected and enhanced by the construction of a dwelling. Accordingly, Building Envelopes have been developed that specify setbacks and building heights to help achieve this outcome. These envelopes allow for extensive tree planting and landscape elements in these zones and assists in protecting the natural attributes of the site. The illustrations below denote a typical Building Envelope showing the vegetation zones, and the typical setbacks for front, sides and rear of lots. The setbacks will vary from lot to lot with front setbacks varying from 4.5 metres – 7.0 metres, side setbacks generally at 2.5 metres and rear setbacks vary from 2.5 metres to 5.0 metres. Please refer to your Contract of Sale for your specific Building Envelope.

Irregular and Curved lots should be generally in accordance with the above and will have their setbacks, siting and floor areas reviewed on an individual basis. Building Envelopes will take precedence where applicable and the GDR will have discretion in their decisions.



Typical Building Envelope and setback illustrations.

Vegetation & tree planting zone

Note: Tree locations within vegetation & tree planting zone are subject to building siting within the building envelope.

2.3.1 Front Setback

For lots with a Building Envelope showing a 4.5 metres front setback, then:

- The front setback is to be a minimum of 4.5 metres and maximum of 5.5 metres from the front boundary.
- Garages located on the primary street frontage must be located a minimum of 5.0 metres from the front boundary with a maximum of 6.5 metres and be setback 0.5 metres behind the main façade of the dwelling unless otherwise noted or approved to vary this guideline by the GDR.

For lots with a Building Envelope showing a 7.0 metres front setback, then:

- The front setback is to be a minimum of 7.0 metres and maximum of 8.0 metres from the front boundary.
- Garages located on the primary street frontage must be located a minimum of 7.5 metres from the front boundary with a maximum of 9.0 metres and be setback 0.5 metres behind the main façade of the dwelling unless otherwise noted or approved to vary this guideline by the GDR.

The following applies to all Building Envelope types:

- Open porches, pergolas, and verandas, not exceeding a height of 3.6m can encroach into the front setback by no more than 2.0 metres.
- Open porches, pergolas and verandas, exceeding a height of 3.6m can encroach into the front setback by no more than 0.5 metres.
- Eaves (including fascia and gutters) not exceeding a height of 3.6m can encroach into the front setback by no more than 2.6 meters.
- Eaves (including fascia and gutters) exceeding a height of 3.6m can encroach into the front setback by no more than 1.1 meters.

2.3.2 Side Setback

Side setbacks need to allow for adequate landscaping and clear pedestrian access around the dwelling. This will ensure that if retaining walls are necessary there will be a sufficient transition between dwellings and their boundaries to allow for a greater area for landscape elements.

- Zero lot line construction may be considered in accordance with the Building Envelopes.
- For double storey developments, boundary and height related setbacks must also be in accordance with the Building Envelopes and regulations.

Note: On corner lots, buildings must be set back a minimum of 2.0 metres or in accordance with the Building Envelope (whichever is the greater) from the secondary street frontage (the smaller lot dimension defines the primary frontage, unless otherwise noted). Greater setbacks are encouraged for planting of significant trees and associated landscape elements to provide amenity. Eaves (including fascia and gutters) may encroach into the minimum setback by no more than 0.6m. No other element may encroach into the minimum setback.

2.4 Minimum Floor Area

Dwelling minimum floor areas: excluding garages, carports, verandahs, porticos, balconies and alfresco areas are as follows:

- Lots less than or equal to 400 m²: must have a minimum floor area of 120 m²,
- Lots of 401 to 550 m²: must have a minimum floor area of 150 m²,
- Lots of 551 to 800 m²: must have a minimum floor area of 180 m², and
- Lots greater than 800 m²: must have a minimum floor area of 225 m².

Note: The GDR retains final discretion on the minimum floor areas.

Site coverage must allow sufficient provision for open space, landscaping, canopy trees etc to ensure objectives and principles of the Guidelines and Significant Landscape Overlay are met.

3.0 Architectural Character Mandatory Standards

These standards are in place to maintain a level of consistency for the design, materials and features of each home. This ensures that the each street, neighbourhood and ultimately the entire development appears integrated and harmonious.

Dwelling designs must be of a contemporary nature. Elements that are prominent in historical styles such as Federation, Georgian, Colonial, Italianate and Tudor will not be permitted. This includes features such as finials, turned posts and ornate mouldings. Some traditional elements may be permitted if the overall design is still considered to be contemporary. The GDR reserves the right to determine if a design meets these requirements.

- No dwelling may exceed two storeys' in height and ceiling heights for all dwellings must not be less than 2.4 metres above floor level.
- All dwellings must have a verandah, portico, porch or other similar entrance feature surrounding the front entrance and must be sympathetic to the overall dwelling design.
- Kit homes and dwellings constructed of second hand materials are not permitted.
- The main pedestrian entry (front door) or access way to the main pedestrian entry must be visible from the primary street frontage.
- Roof pitches are to be to a maximum of 25 degrees. Alternate roof forms that provide diversity in the streetscape such as flat, and skillion roofs will be considered by the GDR, provided they comply with the intent of the Guidelines and are not a dominant feature of the streetscape.



Examples of encouraged dwelling types. Images courtesy of Mason Bennett Homes and Burbank.

- Roofing materials must complement the design and style of the proposed dwelling. Roof sheeting is to be non-reflective (muted tones are preferred). Untreated galvanised or zinc finished, tray deck or fibre cement roof materials will not be approved.
- Unless otherwise specified or considered as meeting the overall objectives of the Guidelines by the GDR all roofs must be designed having minimum eaves of 450mm (600mm including gutters and fascia) to the street frontage. Eaves to the frontage of a dwelling must return and continue a minimum distance of 4 metres along the connecting return wall and or walls from the said frontage. Walls constructed on side boundaries will be exempt from eave requirements unless otherwise directed by the GDR. For a corner allotment, the return must be integrated in the treatment of the secondary façade. Eaves to garages set off the boundary must return the full depth of the garage.

3.1 Benching & Retaining Walls

Where slope is experienced on a lot, due consideration is to be given to achieving a minimal cut and designing the dwelling to follow the slope of the land; for example; a split level dwelling. Additional design consideration must be given to ensure the proposed earth works, driveway gradient, retaining wall/s, mass and height of the dwelling are sensitive to the site topography and integrates well onto the site.



Examples of dwellings demonstrating a sensitive response to the contours of the site

- Ideally, a soft battering to a site cut with landscape elements such as shrubs and groundcover makes for an attractive and useful garden space. Materials selected for the construction of the retaining walls are to be sympathetic to the overall design of the dwelling including:
 - Natural Stone
 - Stained or painted smooth sawn sleepers
 - Architectural block work with a bagged and painted, rendered finish, or stone clad that compliments both the garden and dwelling
 - Coloured and textured concrete sleepers with galvanised support columns
 - Landscape elements such as shrubs and groundcover should be used to screen and reduce visual impact of cuts and retaining walls
 - Where the retaining wall is visible from the street frontage or side boundary, the wall is to be; natural stone, rendered stone clad block work, or coloured and textured concrete sleepers with galvanised support columns
- Further, retaining wall construction should be limited; consider battering and other landscape treatments. Due consideration should be given to the treatment of the retaining walls as part of the overall landscape design for the lot. (Refer Section 7) Retaining walls that are greater than 1metre in height from natural ground level require an application for a Building Permit.
- Final discretion of the material will rest with the GDR.

3.2 Building Materials & Colour Palette

An important element in maintaining a high quality of residential neighbourhood character is the control of external building materials, colours and other related finishes. These need to be durable which in turn will reduce future maintenance, repairs and will maintain the development's appeal for many years to come.

- External walls of each dwelling must be constructed of either:
 - Face brickwork,
 - Rendered brickwork / concrete block but must be painted or colour rendered,
 - Composite cladding materials and cement sheeting must be painted, rendered or have a similar textured finish,
 - Selected stone, and
 - Timber.
- Muted colours and finishes shall be used to blend with the natural setting. Natural colours that blend with the greater landscape and that enhance the architecture are encouraged.
- External windows and doors other than those utilized in an entrance, W.C. or bathrooms are not to contain reflective, frosted, coloured or patterned film on glass unless approved by the GDR.
- Dwellings proposed to be constructed of weatherboard materials for the external walls must be limited to 50% of the materials used. At the discretion of the GDR, a greater percentage may be accepted.



Image courtesy of Dennis Family Homes.



Examples of encouraged finishes and colours.

3.3 Identical Façade Assessment

Two dwellings of the same front facade design shall not be built within 5 dwelling lots of the subject property, this would include lots either side and opposite your lot.

- No concept designs and or façade only submissions will be accepted, i.e. submissions must include all information as requested on the Design Approval Application Form to initiate the approval process.
- The final façade assessment decision will be at the discretion of the GDR.



3.4 Environmentally Sustainable Design

Good environmental design positively contributes to the biodiversity, conservation and water cycle management, and reduction of greenhouse gases. Grandvue has been designed with a “Third Pipe” recycled water network that will provide each property with the opportunity of reducing demand on potable water resources. Consideration should be given to building material selection, insulation and systems such as Photovoltaic cells and incorporate passive solar elements and strategies.

3.5 Garages and Carports

It is preferred that, where practicable, garages and carports be designed to minimise their visual impact to the streetscape.

In assisting to minimise the visual impact of the garage as a dominant feature to the dwelling façade, the Guidelines specify that the roof construction of the garage is to be incorporated within the main roof form of the dwelling. This intention also extends to the appearance and materials proposed for the garage door to ensure it too reflects the visual connectivity with the proposed dwelling.

- The garage must be constructed at the same time as the dwelling and be integrated into the body of the dwelling. Stand alone garages on lots greater than 800m² will be considered on their architectural integrity by the GDR.
- Garages located on the primary street frontage must be located in accord with the setbacks outlined in Section 2.3.1 of these Guidelines.
- Unenclosed garages or carports are not permitted to the street frontage. Carports may be located behind garages and residences where not in view from the street. The GDR reserves the right to limit the area of an unenclosed garage or carport under roof.
- Garage design must match or complement the home in respect to materials, roof pitch, design, colour, external appearance and quality of construction.
- Individual garage doors must be in accordance with the following: single doors must be 2.4m – 3.0m wide maximum. Double garage doors are to be 4.8m – 5.4m wide maximum.
- Roller doors are not permitted.
- The garage must be capable of accommodating a minimum of two vehicles for lots greater than 400m², this requirement may be reviewed at the discretion of the GDR on a case by case basis.
- Swing in garages may be permitted at the discretion of the GDR, if it can be demonstrated that an improved and sensitive design solution (drive gradient, and dwelling design) will be achieved. Front setbacks will apply, and walls addressing the primary street frontage must include windows. The garage must compliment the dwelling in both form and materials.



Example of a swing in garage (plan).

- 3 car garages will be assessed on their merits; and should be integrated into the body of the dwelling and will incorporate an additional single garage door to the single garage element. The single garage element must be setback from the double car accommodation a minimum of 500mm.



Example of acceptable garage doors.

3.6 Driveways and Paving

- Driveways must be fully constructed within 3 months of the issue of the certificate of occupancy.
- Driveways shall not exceed 4.5 metres in width at the street crossover and can taper to the maximum width of the garage door or doors.
- Driveways will have a minimum 0.3 metres setback from the side boundary for landscaping irrespective of whether the side boundary is fenced or not, noting the requirements for the side fencing (refer Section 4).
 - Driveways must be constructed of the following:
 - Brick and/or concrete pavers;
 - Coloured concrete;
 - Concrete with exposed aggregate is highly encouraged
- A colour sample (or colour photocopy) of the proposed driveway material must be provided with the application submission.
- Plain, non-coloured concrete driveways will not be permitted.
- Due consideration should be given to the creation of driveway with respect to gradients and retaining walls due the topography constraints.
- Only 1 driveway and crossover will be permitted per lot.

3.7 Letterboxes

Letterboxes should be designed to compliment and match the dwelling, using the similar materials, colours and finishes. Single post supporting letterboxes will not be permitted.



Examples of approved letterboxes.



4.0 Fencing

The fencing of your home and that of your neighbour will affect the overall aesthetics of the area as it plays an important role in the general definition of the streetscape and transition between public and private spaces. Whilst fencing is intended to provide privacy and a sense of security between dwellings, it will not be permitted along street frontages and within the front setback of a proposed dwelling.

4.1 Front Fencing

- Unless constructed as part of an integrated housing development or part of the Display Village and only with the prior approval of the GDR no fences shall be constructed along the front or street boundary, or within the primary frontage setback.

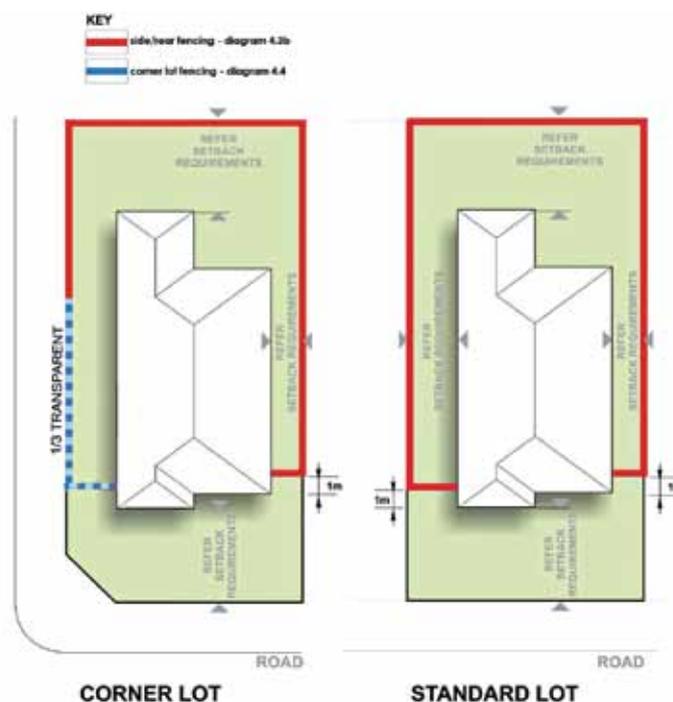
4.2 Typical Side & Rear Boundary Fencing Requirements (unless otherwise specified)

- Unless otherwise specified in these Guidelines, fences between adjoining lots must be 1.8 metres in height above the natural ground level of the lot and must finish a minimum of 1.0 metres behind the primary street frontage façade.
- Fences between adjoining lots must be constructed from timber palings and must have timber capping with timber posts exposed to both sides of the fence as per diagram 4.3b.
- The owner is solely responsible for the installation, maintenance and / or replacement of all fencing abutting their lot.
- The GDR retains final discretion on all fencing matters.
- For screening and service yards, additional timber fences are acceptable if a setback of not less than 1.0 metres from the relevant front corner of the dwelling is maintained and are to be in accordance with the Grandvue timber fencing details.

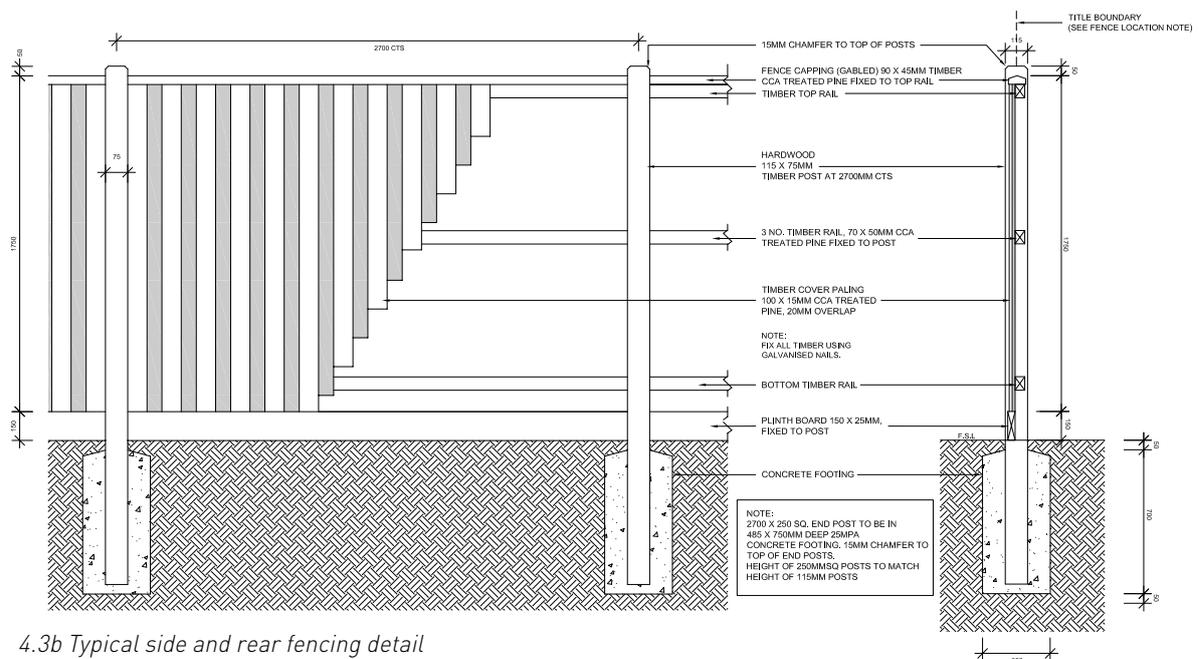
4.3 Fencing Template

- Corner and standard lot fencing plan can be adopted by the owner by signing and attaching this plan and those of diagrams 4.3a, 4.3b, and 4.4 with the submission checklist as an endorsement that the fencing will be carried out as per the Grandvue fencing requirements.

Note: Corner lot fencing is required to be 1/3 transparent to the secondary boundary.



4.3a Fencing plan (template) for standard and corner lots



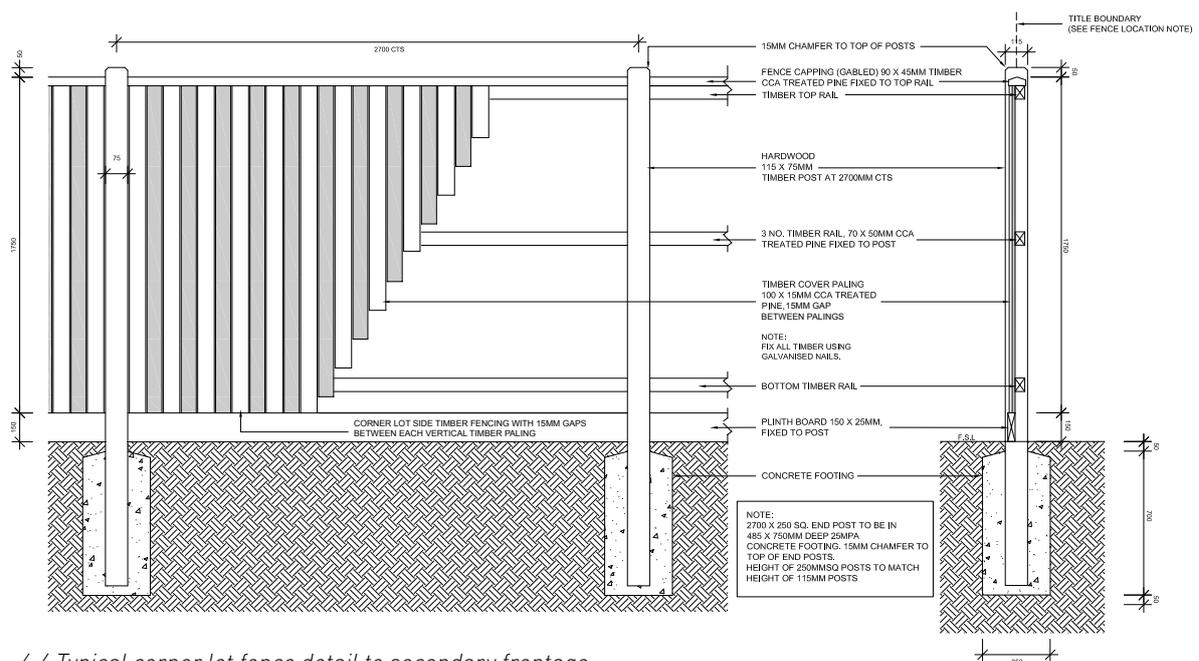
4.3b Typical side and rear fencing detail

4.4 Fencing for Corner Lots & Lots Abutting or Adjacent to Parks / Reserves

Corner timber fencing must be in accordance with the Grandvue fencing options, will not exceed 1.95 metres in height and is to be constructed in accordance with the approved Grandvue timber fencing details on diagrams 4.3a and 4.4.

Dwellings that abut or are adjacent parks or reserves must be in accordance with the Grandvue fencing options, will not exceed 1.95 metres in height and is to be constructed in accordance with the approved Grandvue timber fencing details on diagrams 4.3a and 4.4. Additional consideration for passive surveillance is required. The fencing requirement for these lots is at the discretion of the GDR and Council.

- Remain 1.0 metres behind the front facade and return to abut the dwelling
- Wherever permitted, gates must be consistent with the adjoining fencing details.



4.4 Typical corner lot fence detail to secondary frontage



5.0 Plumbing & Ancillary Equipment

5.1 Plumbing

- All external plumbing including spa pumps/motors are to be concealed from public view. Downpipes and gutters are exempt from this requirement.
- No exposed plumbing waste piping is permitted.
- Gutters and downpipe treatment must compliment the house colour.
- Taps are not to be free standing and are to be attached to the wall of the dwelling.

5.2 Air-Conditioning & Evaporative Cooling Units

Air-conditioning units and exposed components thereof are to be located below the roof ridge line and towards the rear of the property to minimise visual impact. They are to be colour toned to match adjoining wall or roof colour. The units shall be of low profile type.

5.3 TV Antennae & Satellite Dishes

TV antennae and other antennae are generally to be contained within the roof space and not visible. Where antennae are to be externally mounted they are to be located at the rear of the property and below the roof line to minimise visual impact from public viewing.

Satellite dishes (1 metre diameter maximum) are to be located at the rear of the property; below the roofline and must have prior approval by the GDR before installation. CB radio antennae will not be permitted.

5.4 Solar Water Heating

The Victorian Government supports the installation of solar hot water heaters through the Victorian Government Solar Hot Water Rebate Program. This is an efficient method of energy conservation and is highly encouraged. For more information visit the Sustainability Victoria website at: www.sustainability.vic.gov.au

Solar hot water piping for residence or swimming pools are permitted provided they are located on the roof and installed at the same pitch angle as the roof and where practical they are to be located at the rear of the property to minimise visual impact from public viewing. Tanks for such systems are not permitted to be located on the roof and must be screened from public view.

5.5 Water Efficiency

Water re-use and conservation in today's climate are very important considerations when designing your home. Solutions may include the use of rainwater tanks; low water use plants in the garden, water re-use systems and low water use shower heads and toilets, etc. More information on these important issues can be obtained from South East Water.

5.6 Fibre to the Home

A fibre optic network will be provided to this estate. It is encouraged that homes are designed and built to utilize this technology for todays and the future entertainment media platforms.



6.0 General Dwelling Information

6.1 Screening

In consideration of Section 4.0 of these Guidelines, to avoid detracting from the visual quality or the character of the streetscape unsightly items and equipment should be screened from the street and public view.

Ground mounted equipment such as heating and cooling units, hot water services and rubbish disposal containers etc. shall be screened from public view and shall not be visible from the street. Where this is not possible, these items are to be located at the rear of the lot and not be visible to the public from any side street.

6.2 Clothes Lines & Drying Areas

Clothes lines and drying areas shall be located so that they are not visible to public viewing.

6.3 Rain Water Tanks

Rain water tanks are encouraged as an environmental initiative however they must be positioned to restrict them from public view.

6.4 Parking of Heavy Vehicles and Caravans etc.

Trucks or commercial vehicles (exceeding 3.0 tones), recreational vehicles and caravans shall be screened from public view when parked or stored.

6.5 Timing of Works

Construction of all dwellings must be completed within twelve (12) months of work commencing. Incomplete building works must not be left for more than three months without work being carried out on them and all building works must be completed within twelve months of their commencement.

6.6 Aluminium Roller Shutters to windows

The use of aluminium roller shutters to windows is prohibited.

6.7 Window Furnishings

Internal windows furnishings which can be viewed by the public must be fitted within three (3) months of occupancy. Sheets, blankets, or similar materials for which window furnishing is not their primary use, will not be permitted.

6.8 Maintenance of Lots

The Purchaser shall not allow any rubbish including site excavations and building materials to accumulate on a lot (unless the rubbish is neatly stored in a suitably sized industrial bin or skip) or allow excessive growth of grass or weeds upon the lots.

The Purchaser shall not place any rubbish including site excavations and building materials on adjoining land or in any waterway.

The Vendor or its Agent may enter upon and have access over a lot at any time without creating any liability for trespass or otherwise to remove rubbish, maintain, slash or mow a lot and the Purchaser agrees to meet the Vendor's reasonable costs of doing so.

6.9 Signage

Signage is not permitted on residential lots with the following exceptions;

- Builders or tradespersons identification (maximum 600mm x 600mm) required during dwelling construction. These signs must be removed within 10 days of the issue of the Certificate of Occupancy;
- One sign only advertising the sale of a complete dwelling is permitted. These signs must be removed within 10 days of the property being sold; and
- There are to be strictly no signs erected for the purposes of advertising the sale of a vacant lot other than any sign that relates to the sale of such lot by the Developer.
- Any business conducted from the dwelling is not to be advertised by use of signs unless permitted under the Planning Scheme.



7.0 Landscaping

The investment in quality landscaping adds significant value to any community. To compliment this you are encouraged to invest in the quality landscaping of your own front and rear yard. This not only promotes an attractive neighborhood but also improves the value of your dwelling. Appropriately designed gardens contribute in a positive way to the quality of the built environment.

7.1 General conditions

Gardens are encouraged to be environmentally sensitive by utilizing appropriate drought tolerant sensitive plants, organic or mineral mulches and drip irrigation systems.

- Landscaping of your front garden must be completed within 6 months of receiving your Certificate of Occupancy.
- Regular inspections will be undertaken to ensure that landscaping has been completed within the required time. Should your landscaping not be completed within the specified time, action may be taken to have this requirement met at the owners cost. Extensions of time will only be considered in exceptional circumstances.
- Planting should be both consistent in specification and design and should enhance the architecture by providing form and texture.
- Drought tolerant landscape designs are highly encouraged. This includes the use of native or indigenous plants and minimal use of lawn is encouraged.
- Planting density shall be appropriate to achieve a closed canopy within a five year period following occupancy sign off and landscape establishment.



Examples of preferred landscape treatments

7.2 Minimum Landscape Works to be Undertaken

A landscape plan is to be produced to demonstrate a sensitive response, as a minimum, to the following items:

- Retention and or removal of existing vegetation,
- Driveway gradients that are sensitive to the site topography,
- An emphasis for inclusion of canopy trees to the landscape; front, rear and side garden spaces,
- Proposed earth works; extent of cut and fill and retaining wall/s,
- Due consideration is to be given to screen retaining wall/s by planting appropriate species that will offer a soft visual screen to the solid mass of the wall/s,
- A sensitive approach to the selection of plants, shrubs, and groundcovers which are predominately native, drought tolerant and indigenous to the area,
- 20 selected shrubs in 150 mm pots in the garden beds,
- Minimum of 3 native trees planted as advanced specimens (3.0 m minimum height) to the front garden for lots less than 800 m² and 5 native trees for lots greater than 800 m².
- Minimum of 5 native trees planted as advanced specimens (3.0m minimum height) to the rear garden for lots less than 800 m² and 7 native trees for lots greater than 800 m².
- The supply and installation of extensive mulched/pebbled planting areas in lieu of lawn is encouraged as are hardy native grasses which will also be considered favorably.

Please note that for those lots subject to the Significant Landscape Overlay, the Cardinia Shire Council may require you to install additional planting to the front, side and / or rear of your property.



8.0 Appendices

8.1 Appendices - Design Approval Process

Summary of how to obtain approval for your proposed dwelling:

Ridgeline Lots

- Step 1**
Purchase Lot.
- Step 2**
Have your builder prepare the required documents & drawings for the Grandvue Design Reviewer. (GDR).
- Step 3**
Include a detailed plan noting site works, landscape plan, gradient etc. as per the notes included in the Guidelines.
- Step 4**
Review of the submission by the GDR.
- Step 5**
Approval / rejection or conditional approval by the GDR.
- Step 6**
Upon issue of approval by GDR, submit for Building Permit. Building permit issued.
- Step 7**
Commence construction.

Significant Landscape Overlay Lots

- Step 1**
Purchase Lot and Confirm requirements of Significant Landscape Overlay.
- Step 2**
Have your builder prepare the required documents & drawings for the Grandvue Design Reviewer. (GDR).
- Step 3**
Include a detailed plan noting site works, landscape plan, gradient etc. as per the notes included in the Guidelines.
- Step 4**
Review of the submission by the GDR.
- Step 5**
Approval / rejection or conditional approval by the GDR.
- Step 6**
Upon issue of approval by GDR, submit for the Planning Permit. Planning Permit issued/denied.
- Step 7**
Upon issue of approval by Council, submit for Building Permit. Building permit issued.
- Step 8**
Commence construction.

8.2 Appendices - Design Application Form & Checklist

Lot No: _____

Street Address: _____

Owners Name: _____

Mobile: _____ Email address: _____

Current Postal Address: _____

Home phone: _____ Business phone: _____

Builder: _____

Builder Contact Name: _____

Builder Mobile: _____ Builder Email address: _____

Documentation required to be submitted for approval to Grandvue Design Reviewer.

Note: All the items below to be provided in A3 format and in duplicate.

- Site Context Plan** (scale 1:200) indicating the locality of the lot with respect to the surrounding development. It should also include view lines, aspects, and existing buildings / structures nearby.
- Site Plan** (scale 1:200) indicating: date, reference number of drawing, north point, with contours at 500mm intervals, building envelope, lot area calculation, habitable dwelling area calculation, home positioned on the lot with dimensions and setbacks from all boundaries, outbuildings, crossover and driveway location, clothes line, letterbox, water tank and capacity, and pool position if applicable, extent of earthworks – cut and fill, retaining walls and batters. Also include existing buildings on adjacent land, including the location and height of the building/s.
- Floor plan/s** (scale 1:100) indicating: date, reference number of drawing, north point, dwelling area calculation indicating all rooms, windows, and external doors & dimensions, external fixtures and nominated floor levels, position of air conditioning, solar units, satellite dishes and locations of data points within the home along with the position of the ONT in the meter box for the fibre optic supply, and roof plans.
- All elevation plan/s** (scale 1:100) indicating: date, reference number of drawing, north point, all wall heights and external finishes including garage door type, roof pitch, eaves depth, air conditioning / evaporative cooling unit, solar units, water tanks and all external building such as garden sheds, pergolas, bbq's etc. Relevant cross sections showing height of walls on boundaries; cut and fill details, including retaining walls and driveways gradient where applicable should also be included.
- Landscape plan/s** (scale 1:100) indicating: date, reference number of drawing, north point, contours at 500mm intervals, proposed earth works, planting schedule inclusive of the minimum number of native trees to the front garden (refer to your lot size for requirements) boundary fencing, water tank/s retaining walls and materials including dimensions. Proposed driveways and paths materials and gradients, out buildings and pools if applicable. Decks, pergola's and other similar structure are to be included. Noting any existing vegetation, and any proposed vegetation to be removed.
- Fence plan** (see items 4.3a, 4.3b, and 4.4) is included within the checklist and requires the client's signature as endorsement.
- Submission checklist** of requirements is provided as part of the Design Approval Application Form and checklist included in this document – refer to the Appendices of these Guidelines.
- Schedule** of external colours and materials; supply either a coloured photocopy or colour sample chips for checking by the GDR.
- Energy rating** for the dwelling.
- A Design Response** written to describe how the proposed building, site works and landscape plan responds to the context of the site and landscape character.

The GDR will endeavour to assess proposals in the shortest possible time generally within ten – fourteen working days of receipt of a compliant application, if all of the above documentation is provided. The Design Approval Form forms a part of the design approval process and must be completed when submitting to the GDR. Delays will occur if the Form and or the required information is not provided or is incomplete. It is the responsibility of the owner and the owner's agent (builder or designer) to ensure complete documentation; no responsibility will be accepted by the GDR for incomplete submissions.

Applications cannot be assessed until all of the above information is available. No facsimile or email submissions will be accepted. The GDR also reserves the right to request further information.

Please submit the above documentation to:

**Grandvue Design Reviewer
C/- Shelton Finnis
72 Bridport Street
ALBERT PARK VIC 3206**

OR

grandvue@sheltonfinnis.com.au

8.3 Schedule to the Significant Landscape Overlay

42.03

13/09/2010
VC63

SIGNIFICANT LANDSCAPE OVERLAY

Shown on the planning scheme map as **SLO** with a number.

Purpose

To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.

To identify significant landscapes.

To conserve and enhance the character of significant landscapes.

42.03-1

19/01/2006
VC37

Landscape character and objectives

A schedule to this overlay must contain:

- A statement of the nature and key elements of the landscape.
- The landscape character objective to be achieved.

42.03-2

15/09/2008
VC49

Permit requirement

A permit is required to:

- Construct a building or construct or carry out works. This does not apply:
 - If a schedule to this overlay specifically states that a permit is not required.
 - To the conduct of agricultural activities including ploughing and fencing (but not the construction of dams) unless a specific requirement for that activity is specified in a schedule to this overlay.
- Construct a fence if specified in the schedule to this overlay.
- Remove, destroy or lop any vegetation specified in a schedule to this overlay. This does not apply:
 - If the table to Clause 42.03-3 specifically states that a permit is not required.
 - To the removal, destruction or lopping of native vegetation in accordance with a native vegetation precinct plan specified in the schedule to Clause 52.16.

42.03-3

13/09/2010
VC63

Table of exemptions

No permit is required to remove, destroy or lop vegetation to the minimum extent necessary if any of the following apply:

Regrowth

- The vegetation is regrowth which has naturally established or regenerated on land lawfully cleared of naturally established vegetation and is within the boundary of a timber production plantation, as indicated on a Plantation Development Notice or other documented record, and has established after the plantation.

This exemption does not apply to land on which vegetation has been cleared or otherwise destroyed or damaged as a result of flood, fire or other natural disaster.

No permit is required to remove, destroy or lop vegetation to the minimum extent necessary if any of the following apply:

Bracken	<ul style="list-style-type: none"> ▪ The vegetation is bracken (<i>Pteridium esculentum</i>) which has naturally established or regenerated on land lawfully cleared of naturally established vegetation. <p>This exemption does not apply to land on which vegetation has been cleared or otherwise destroyed or damaged as a result of flood, fire or other natural disaster.</p>
Noxious weeds	<ul style="list-style-type: none"> ▪ The vegetation is a noxious weed the subject of a declaration under section 58 or section 58A of the Catchment and Land Protection Act 1994. This exemption does not apply to Australian Dodder (<i>Cuscuta australis</i>).
Pest animal burrows	<ul style="list-style-type: none"> ▪ The vegetation is to be removed, destroyed or lopped to enable the removal of pest animal burrows. <p>In the case of native vegetation the written agreement of an officer of the Department responsible for administering the Flora and Fauna Guarantee Act 1988 is required before the vegetation can be removed, destroyed or lopped.</p>
Land use conditions	<ul style="list-style-type: none"> ▪ The vegetation is to be removed, destroyed or lopped to comply with a land use condition served under the Catchment and Land Protection Act 1994.
Land management notices	<ul style="list-style-type: none"> ▪ The vegetation is to be removed, destroyed or lopped to comply with land management notice issued under the Catchment and Land Protection Act 1994.
Planted vegetation	<ul style="list-style-type: none"> ▪ The vegetation has been planted or grown as a result of direct seeding for Crop raising or Extensive animal husbandry.
Emergency works	<ul style="list-style-type: none"> ▪ The vegetation presents an immediate risk of personal injury or damage to property and only that part of vegetation which presents the immediate risk is removed, destroyed or lopped. ▪ The vegetation is to be removed, destroyed or lopped by a public authority or municipal council to create an emergency access or to enable emergency works.
Fire protection	<ul style="list-style-type: none"> ▪ The vegetation is to be removed, destroyed or lopped for the making of a fuelbreak by or on behalf of a public authority in accordance with a strategic fuelbreak plan approved by the Secretary to the Department of Sustainability and Environment (as constituted under Part 2 of the Conservation, Forest and Lands Act 1987). The maximum width of a fuelbreak must not exceed 40 metres. ▪ The vegetation is to be removed, destroyed or lopped for fire fighting measures, periodic fuel reduction burning, or the making of a fuel break up to 6 metres wide. ▪ The vegetation is ground fuel within 30 metres of a building. ▪ The vegetation is to be removed, destroyed or lopped in accordance with a fire prevention notice under: <ul style="list-style-type: none"> • Section 65 of the Forests Act 1958. • Section 41 of the Country Fire Authority Act 1958.

No permit is required to remove, destroy or lop vegetation to the minimum extent necessary if any of the following apply:

	<ul style="list-style-type: none"> ▪ Section 8 of the Local Government Act 1989. ▪ The vegetation is to be removed, destroyed or lopped to keep the whole or any part of any vegetation clear of an electric line in accordance with a code of practice prepared under Part 8 of the Electricity Safety Act 1998. ▪ The vegetation is to be removed, destroyed or lopped in accordance with any code of practice prepared in accordance with Part 8 of the Electricity Safety Act 1998 in order to minimise the risk of bushfire ignition in the proximity of electricity lines.
Surveying	<ul style="list-style-type: none"> ▪ The vegetation is to be removed, destroyed or lopped for establishing sight-lines for the measurement of land by surveyors in the exercise of their profession, and if using hand-held tools.
Public roads	<ul style="list-style-type: none"> ▪ The vegetation is to be removed, destroyed or lopped to maintain the safe and efficient function of an existing public road managed by the relevant responsible road authority (as defined by the Road Management Act 2004) in accordance with the written agreement of the Secretary to the Department of Sustainability and Environment (as constituted under Part 2 of the Conservation, Forest and Lands Act 1987).
Railways	<ul style="list-style-type: none"> ▪ The vegetation is to be removed, destroyed or lopped to maintain the safe and efficient function of an existing railway or railway access road, in accordance with the written agreement of the Secretary to the Department of Sustainability and Environment (as constituted under Part 2 of the Conservation, Forest and Lands Act 1987).
Extractive industry	<ul style="list-style-type: none"> ▪ The vegetation is to be removed, destroyed or lopped to enable the carrying out of Extractive industry in accordance with a work plan approved under the Mineral Resources (Sustainable Development) Act 1990 and authorised by a work authority granted under that Act.
Search for stone	<ul style="list-style-type: none"> ▪ The vegetation is to be removed, destroyed or lopped to enable the carrying out of the Search for stone. <p>The maximum extent of vegetation removed, destroyed or lopped under this exemption on contiguous land in the same ownership in a five year period must not exceed any of the following:</p> <ul style="list-style-type: none"> ▪ 1 hectare of vegetation which does not include a tree. ▪ 15 trees if each tree has a trunk diameter of less than 40 centimetres at a height of 1.3 metres above ground level. ▪ 5 trees if each tree has a trunk diameter of 40 centimetres or more at a height of 1.3 metres above ground level. <p>This exemption does not apply to vegetation to be removed, destroyed or lopped to enable costeaning and bulk sampling activities.</p>
Mining	<ul style="list-style-type: none"> ▪ The vegetation is to be removed, destroyed or lopped to

No permit is required to remove, destroy or lop vegetation to the minimum extent necessary if any of the following apply:

	enable the carrying out of Mining in accordance with a work plan approved under the Mineral Resources (Sustainable Development) Act 1990 and authorised by a work authority granted under that Act.
Mineral Exploration	<ul style="list-style-type: none"> ▪ The vegetation is to be removed, destroyed or lopped to enable the carrying out of Mineral exploration.
Geothermal energy exploration and extraction	<ul style="list-style-type: none"> ▪ The vegetation is to be removed, destroyed or lopped to enable the carrying out of geothermal energy exploration or extraction in accordance with the Geothermal Energy Resources Act 2005.
Greenhouse gas sequestration exploration	<ul style="list-style-type: none"> ▪ The vegetation is to be removed, destroyed or lopped to enable the carrying out of geothermal energy exploration or extraction in accordance with the Greenhouse Gas Geological Sequestration Act 2008.
Greenhouse gas sequestration	<ul style="list-style-type: none"> ▪ The vegetation is to be removed, destroyed or lopped to enable the carrying out of geothermal energy exploration or extraction in accordance with the Greenhouse Gas Geological Sequestration Act 2008.

42.03-4

15/09/2008
VC49

Decision guidelines

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider , as appropriate:

- The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- The statement of the nature and key elements of the landscape and the landscape character objective contained in a schedule to this overlay.
- The conservation and enhancement of the landscape values of the area.
- The impact of the proposed buildings and works on the landscape due to height, bulk, colour, general appearance or the need to remove vegetation.
- The extent to which the buildings and works are designed to enhance or promote the landscape character objectives of the area.
- The impact of buildings and works on significant views.
- Any other matters specified in a schedule to this overlay.

Note: Refer to the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement, for strategies and policies which may affect the use and development of the land.

Check the requirements of the zone which applies to the land.

Other requirements may also apply. These can be found at Particular Provisions.

24/09/2009
C123**SCHEDULE 6 TO THE SIGNIFICANT LANDSCAPE OVERLAY**Shown on the planning scheme map as **SLO6****CARDINIA ROAD PRECINCT****1.0 Statement of nature and key elements of landscape**20/11/2008
C92

The Cardinia Road Precinct is located within the Casey Cardinia Growth Area along the southern fringe of the foothills to the Dandenong Ranges.

The landscape of the northern section of the Cardinia Road Precinct is characterised by undulating topography with significant east west ridgelines. The ridgelines and hilltops, particularly above the 60 metre contour have been identified as a visually prominent landscape element within the precinct. Patches of remnant vegetation both within the Cardinia Road Precinct and on the hills to the north provide significant contribution to the visual character and quality of the area.

Land within the Cardinia Road Precinct has been designated for urban development as set out in the Cardinia Road Precinct Structure Plan (September 2008). Special consideration needs to be given to the design and siting of development to ensure that the landscape, scenic and environmental qualities of the significant ridgelines and hilltops are protected as a key element of the landscape character in the precinct.

2.0 Landscape character objective to be achieved20/11/2008
C92

- To conserve, protect and enhance the environmental, scenic, and landscape values of the ridgelines and hilltops in the Cardinia Road Precinct.
- To protect and conserve remnant vegetation which contributes to the landscape significance of the Cardinia Road Precinct.
- To encourage development which is of a size and scale that is sympathetic and responsive to the landscape.
- To ensure that development is sensitive to the natural characteristics of the landscape including slope, hilltops, ridgelines, and any remnant vegetation.
- To ensure a lower density of development and scale of building mass to create a sense of openness and space.

3.0 Permit requirement24/09/2009
C123

An application to construct a building or construct or carry out works must be accompanied by the following information:

- A site context plan showing the boundaries of the land, the contours of the land, existing vegetation on the land or surrounding land (if any), existing buildings and works on the land, existing buildings on adjoining land including the location, height and scale of buildings.
- Details of any siting and design guidelines (including building envelopes) approved as part of the subdivision which created the lot which the land forms part of.
- Details of the location of proposed buildings and works.
- Details of elevations, including building heights, external colours, materials and finishes.
- The location of any existing vegetation and proposed to be removed.
- Details of the location and extent of any earthworks.
- Details of landscaping proposed, particularly canopy trees.

- A design response which describes how the proposed buildings and works responds to the context of the site, the landscape character and objectives set out in this schedule, and any siting and design guidelines applying to the land.

A permit is required to remove, destroy or lop any native vegetation. This does not apply if:

- The vegetation is an environmental weed known as Sweet Pittosporum (*Pittosporum undulatum*).
- The vegetation is dead or diseased as a result of natural circumstances or the spread of noxious weeds and which has been assessed as being suitable for removal by an authorised officer of the responsible authority.
- Necessary for the construction or maintenance of a fence provided the vegetation is the minimum required to be removed and is within any of the following:
 - 1.5 metres either side of a title boundary which does not abut a road reserve and the consent of the adjoining property owner has been obtained.
 - 2.0 metres within a title boundary abutting a road reserve.

4.0 Decision guidelines

20/11/2008
C92

Before deciding on an application the responsible authority must consider, as appropriate:

- The Cardinia Road Precinct Structure Plan (September 2008).
- Any siting and design guidelines (including building envelopes) approved as part of the subdivision which created the lot which the land forms part of.
- The setback of buildings and works from boundaries and buildings on adjoining lots to create a sense of openness and space between buildings.
- The nature and character of buildings on adjoining and nearby land.
- Whether buildings are setback from the tops of significant ridgelines and hilltops.
- Whether the height of new development protrudes beyond existing tree canopies or ridgelines.
- The slope of the land, and in particular, the design of buildings on slopes greater than 20%.
- The effect of any removal of vegetation on the landscape character and tree canopy in the area.
- The reason for removing any vegetation and the practicality of alternative options which do not require the removal of the vegetation.
- Any landscaping proposed as part of the development to reduce the visual impact, particularly revegetation along ridgelines, on hilltops and significant slopes.
- The extent of any cut and fill required.



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